

Ironwood Village

Design Guidelines

Tract 37001



April 2016

Ironwood Village

Design Guidelines

Tract 37001

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Prepared For:



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Ironwood Village Design Guidelines: *Tentative Tract 31007*

Project Location

The location of the *Ironwood Village* Tentative Tract Number 31007 (TTM 31007) is North of Ironwood Avenue, East of Nason Street, West of Oliver Street and the northern boundary is just north of the proposed Juniper Avenue alignment in the City of Moreno Valley, California. *Please refer to Figure 1-1 Site Location.*

Purpose

The purpose of the *Ironwood Village* TTM 31007 Design Guidelines (site development regulations) is to provide cohesive design throughout the *Ironwood Village* project. **Creating a diversity of housing choices not available with a standard tract map, the project will encourage a range of housing alternatives with a variety of lot sizes intermixed with trails, a park, trail head, open space areas and water quality features. The design guidelines will require a quality mix of products, while creating walkable neighborhood with access to trails and other outdoor recreation / open space opportunities.** The *Ironwood Village* project will conserve the northwestern hillside areas and will not be building on that portion of the site. The project is designed to respect the existing topography, maintain rock outcroppings where feasible and provide a transition into the hillside areas. The Design Guidelines provide the development standards, architecture, and landscaping standards necessary to create this unique housing project within the City of Moreno Valley. The *Ironwood Village* project will provide a buffer with the appropriate use of natural open space, landscaping, trails, right-of-ways and fire access creating a pleasing visual transition between the existing rural residential uses. While providing for a suburban life-style in a cohesively planned community with amenities not commonly found in typical subdivisions. The proposed *Ironwood Village* anticipates one hundred eighty-one (181) units on approximately thirty-eight and one half (38.5) acres, along with approximately twenty-nine point three (29.3) acres of open space and basin areas, and an additional ten point six (10.6) acres of natural open space (i.e. hillsides and rock outcroppings) with a mix of lot sizes range from ten thousand (10,000) square feet minimum down to seven thousand two hundred (7,200) square feet minimum lot sizes.

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Theme

The theme for *Ironwood Village* will be typical traditional California styles of architecture (i.e. Monterey, Spanish Colonial, Santa Barbara, Napa, & Tuscan.) The theme is broad enough to allow for a diversity of architectural and landscape details, elements and styles to create a cohesive but, unique residential community. The architecture and overall project theme allows for varied streetscapes, while keeping a consistent and welcoming community atmosphere that will be inviting and comfortable for the residents and visitors alike.

1. Site Planning and Design

The following section includes the *Ironwood Village* development standards that encourages innovative housing development, with a diversity of housing choices, not typically found in a standard housing tract. **To ensure that the neighborhoods are interesting and varied in appearance, at least one (1) single-story design is required.** The addition of a single-story elements help to create a mix of not only architectural styles but, an array of building heights and building articulation avoiding the creation of a monotonous streetscape. The project is designed to respect the existing topography and provide a transition to the steeper hillside areas, within and adjacent to the project site. *Please refer to Figure 1- 2 Land Use Plan.*

a. Setbacks

Table 1-1 lists the development standards required for development within the *Ironwood Village* project area.

TABLE 1-1

Summary of Setback Requirements		
Minimum Lot Size (sq. ft. net area)	10,000 sf (R3)	7,200 sf (R5)
Minimum Lot Width	90'	70'
Minimum Lot width Cul-De-Sac / Knuckle Frontage	50'	50'
Minimum Lot Depth	100'	100'
Typical House Width		
Front Setbacks		
Minimum Typical Front yard setback	25'	20'
Minimum Front Facing Garage	20'	20'
Minimum Swing-in Garage	15'	15'

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Rear Setbacks		
Minimum Rear	30'	15'
Side Setbacks		
Minimum Interior Side Yard	*combined 20'	**combined 15'
Minimum Street Side yard	15'	15'
Maximum Building Height		
Dwelling Unit Maximum two stories	35'	35'
Accessory Structures	35'	35'
Miscellaneous		
Maximum Lot Coverage	40%	40%
Minimum Dwelling Size, (sq. ft.)	1,250 sf	1,250 sf
Minimum Distance Between buildings	10'	10'

* Combined interior side yard setbacks of 20' shall be provided with a minimum of 5' on one side.
** Combined interior side yard setbacks of 15' shall be provided with a minimum of 5' on one side.

All of the setbacks are minimums unless noted as otherwise and shall be measured from the property line.

Side yard setbacks shall have a minimum of five feet (5') of flat usable pad area in all conditions as measured to the center of any wall or fence, or top of slope, or toe of slope.

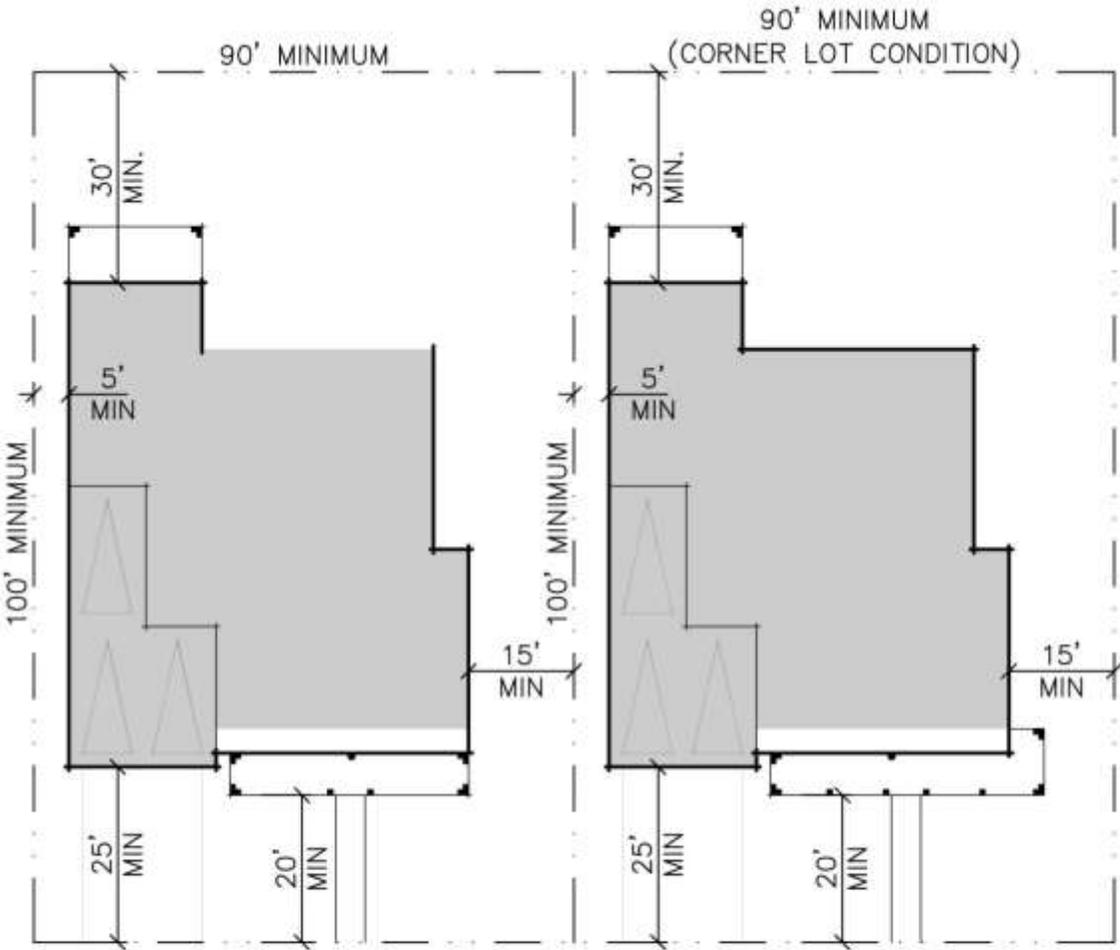
Vary front setbacks up to five feet (5') to the extent flat useable pad depths exceed one-hundred ten feet (110') (at their narrowest point) when possible.

Where feasible, center the house within the buildable pad width to maximize separation between adjacent houses.

Maximum lot coverage including garage shall be fifty percent (50%).

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Figure 1-3 10,000 sf building footprint (R3)

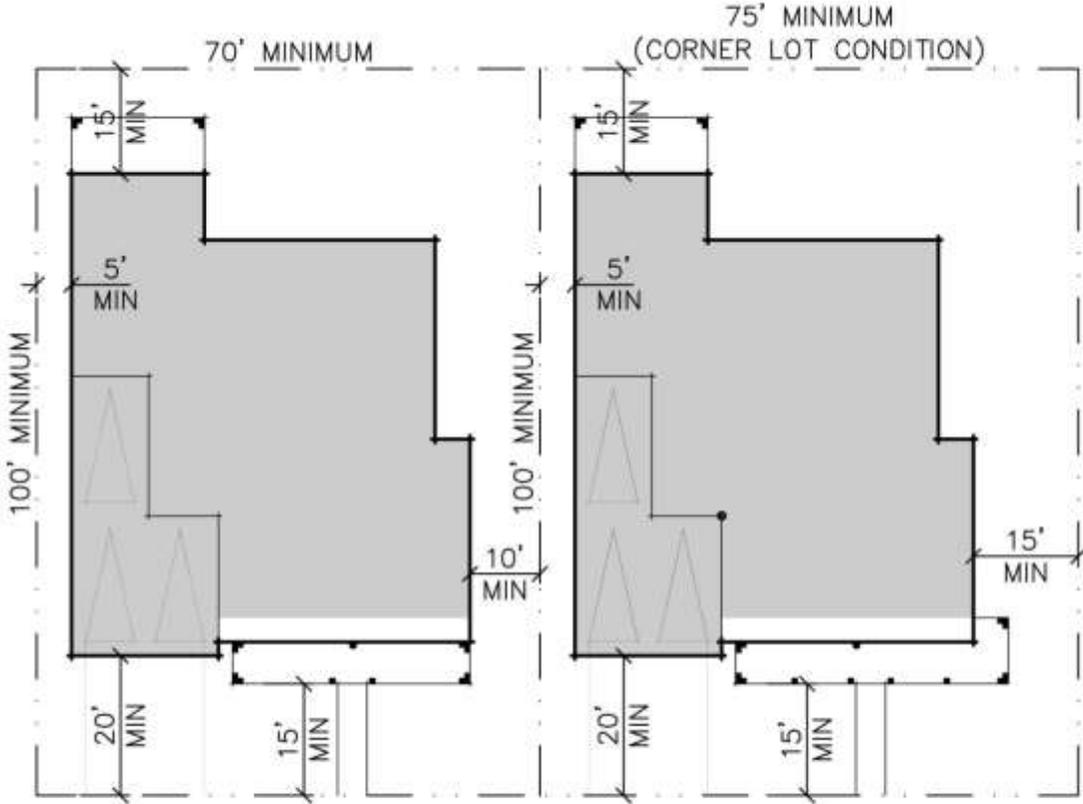


WALL LEGEND

-  SINGLE-STORY
-  TWO-STORY

Ironwood Village

Figure 1-4 7,200 sf building footprint (R5)



WALL LEGEND

-  SINGLE-STORY
-  TWO-STORY

Ironwood Village

b. Plotting Requirements

A mix of dwelling unit sizes, floor plans, and elevations shall be provided (*Refer to Section 3 Architectural Style*).

To create a varied and unique streetscape, neither the same floor plan nor the same elevation style shall be plotted next to or directly across the street from itself. "Directly across the street" is defined as more than one half (1/2) of the narrower lot overlapping the wider lot across the street from the lot in question.

- Repetitive patterns of garage placement shall be avoided when possible.
- Unless street slope prevents otherwise, a left or right side on garage may not be plotted more than three (3) times in a row.
- Corner lots shall incorporate single-story elements into their design to minimize visual impacts.

2. Architectural Design

The *Ironwood Village* Architectural Design Guidelines are envisioned as just that "guidelines"; they are intentionally created to allow ultimate flexibility to the builder and are purely illustrative in character for the final buildout. The guidelines provide the builder with a palette of options of design features and elements to be mixed and matched to create a comprehensive project that has one personality throughout, although is not boring or repetitive. The actual detailed architectural design elements and details that will be used within the *Ironwood Village* community will be decided at time of buildout by the developer with approval by the City of Moreno Valley.

a. Design Principals

While these design guidelines suggest architectural styles, the styles utilized should be authentic and distinct. Traditional styles tend to have defining features that should be consistently implemented throughout the *Ironwood Village* development. These guidelines allow for updated styles as long as the defining features can be identified and applied to the floor plans.

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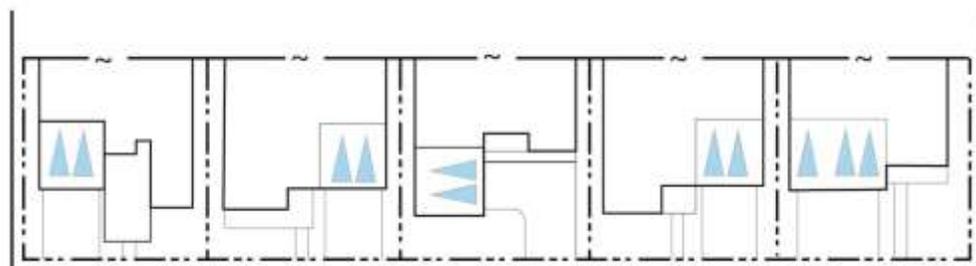
Architectural styles should be dictated by the massing of the floor plans and a certain style should not be forced upon every floor plan. By emphasizing authentic styles, these guidelines discourage similarity and uniformity of residential buildings. The street scene should be diverse as to form, massing, features, windows, front doors, garage doors, materials and colors.

As appropriate resource efficiency should influence architectural styles. The concept of resource efficiency includes reduction of wasteful elements in the design and construction of the house as well as conservation of energy, natural resources and water during occupancy of the home.

b. Form and Massing

Building mass and scale are key design elements that affect how a structure and the immediate surrounding areas are perceived. Controlling the mass of a building through design articulation of the building facades, attention to rooflines and variation in vertical and horizontal planes reduces the visual mass of a building. Building massing should be varied to provide interesting form, proportion and scale. Monolithic forms are discouraged; massing variety should be three dimensional. The perception of a buildings massing may be altered through the use of landscaping as well as the use of light and shadows.

Figure 2-1 Varied Massing Diagram



The Varied Massing Diagram is for illustrative purposes only, the floor plans and mix of two (2) and three (3) car garages may vary.

Design details should be included on the rear and sides of homes, creating four (4) sided architecture. Neighborhood housing should be arranged to

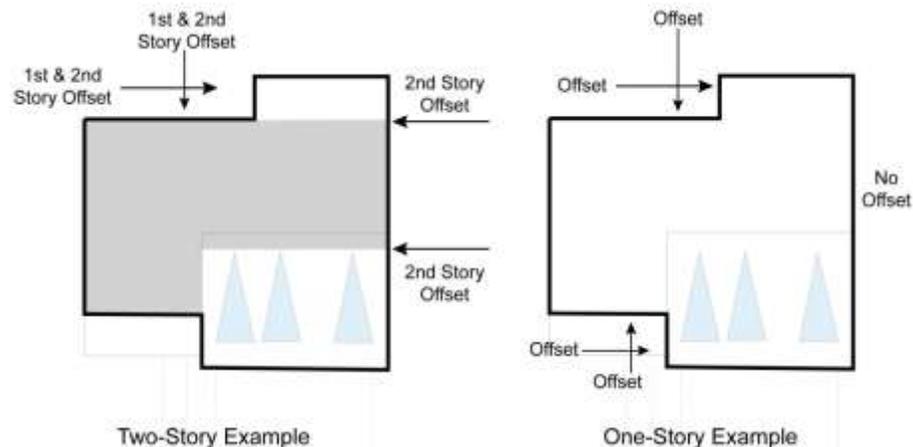
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create a varied appearance of building heights, articulation and setbacks for a comprehensive and integrated street scene.

Special design features (i.e. recessed entry ways, covered front porches, window and door articulation, variety of masonry accents, balcony's, courtyards, extended overhangs and varied building setbacks) are expected. General massing should vary perceptibly among the distinct floor plans. Together with variable setbacks, massing variation will create visual diversity along neighborhood streets.

- Every side of a two-story house must have at least one plane break “offset” at the first and/or second story in order to avoid monolithic elevations. A plane break must be at least two feet (2’).
- Three (3) sides of a single-story floor plan must have at least one (1) plane break “offset”. A plane break must be at least two feet (2’).
- The floor area of a second story, including the stairs, may not exceed eighty percent (80%) of the floor area of the first story including the garage and any porch areas.
- Shadow patterns created by architectural details such as overhangs, projections and recesses of stories, balconies, reveals and/or awnings are encouraged, adding interest and aiding in climate control.

Figure 2-2 Example of Offsets



The Example Offsets are for illustrative purposes only, the floor plans and actual offsets may vary.

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c. Roofs

Rows of homes backing onto a hillside are perceived by their contrast against the hillside area. The prevailing impact is the shape of the house and roofline. The house mass shall be varied to minimize the visual impact of similar housing silhouettes and similar ridge heights. This can be achieved by using a variety of roof structure designs such as; front-to-rear, side-to-side, gables and hipped roofs and/or by the introduction of single-story elements.

- Roof pitches should vary according to the architectural style. Primary roof pitches may be three to twelve (3:12), four to twelve (4:12), five to twelve (5:12) or six to twelve (6:12) (*for solar panel efficiency*). Secondary roof pitches can vary from primary roof pitches but only if such variation is consistent with the architectural style.
- To the extent they are consistent with an architectural style; hipped roofs are encouraged in order to accommodate solar panels and to cast shade over windows.
- Simplified rooflines are encouraged in order to accommodate integrated solar panels. Provide large enough unbroken roof planes to be sufficient to meet the state code for “solar zones.”
- Eave depths should vary according to the architectural style and may range in depth from twelve to twenty-four inches (12 - 24”).
- Porches and balconies are encouraged when consistent with the architectural style of the house. The minimum porch depth shall be five feet (5') to edge of the porch.

Figure 2-3 Varied roof examples



The variety of roof examples shown may be utilized for both single-story and two-story floor plans. These roof types are found within the architectural styles to be used within the *Ironwood Village* community.

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d. Garage Orientation / Location and Design

The visual impact of three-car garages should be reduced wherever feasible. Although not necessarily depicted on the architectural elevations (see Section 3 Architectural Styles), the builder(s) of *Ironwood Village* will pay attention to the design, placement, and orientation of garages.

Depending on the lot size, this can be achieved in a number of ways including but not limited to the following:

- Garage setback greater than the front of the house.
- Side-on (a side-on garage shall have a minimum back-up area of twenty-eight feet (28')).
- Porte-cochere architectural element (covered parking area).
- Tandem garages allow for parking a boat or two vehicles (one behind the other) inside "one stall" of the garage that is twice the depth.
- Garage door details shall vary in manner that is consistent with the architectural style.
- Garage door windows are standard.
- Front-facing garages shall not be wider than sixty-five percent (65%) of the house width.
- Exclusive use of three-car front-facing garages in all floor plans is not permitted. Three-car front-facing garages may only be utilized if a single garage door is offset from the double garage door.

e. Architectural Elements

Architectural styles for *Ironwood Village* should be chosen in part as an opportunity to introduce a variety of exterior accent details and materials (i.e. brick, wood siding, masonry, metal, pre-cast concrete, timber, stucco or ceramic tile).

- Color schemes should be simple, attractive and consistent with the architectural style.
- Front door details shall vary according to architectural style.
- Feature window shapes shall vary according to architectural style.
- Acceptable roof materials include concrete tiles, and metal but exclude composition shingles and should be consistent with the architectural style of the building.
- Chimneys, which may cast shadows over solar panels, are optional and should be consistent with the architectural style.

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- A minimum of two (2) photosensitive carriage lights per house are required and the style should vary according to architectural style.
- Shutters are not required; but to the extent they are used, shutter sizes should be proportional to the window and shutter styles should vary in accordance with the architectural style.
- Trim details from the front elevation should be applied to the sides and rear elevations of the house for continuity and vary in accordance with the architectural style.

f. Mechanical Equipment

All mechanical equipment for individual dwelling units (i.e. air conditioners, heating, cooling and ventilation equipment and/or all other such equipment) will not be roof mounted and shall be screened from surrounding properties and streets (by using screening, privacy fencing/walls and/or landscaping) and shall not be located in the front yard or street side yard outside of building setbacks.

Architectural Style

Architecture within *Ironwood Village* reflects the diversity of architectural styles found throughout California. The architectural elements and details provided within this Design Guidelines document are guidelines, not required details and/or elements. The implementation of modern interpretations of the historical architectural styles are allowed as appropriate.

The Architectural styles and the design elements shown in this document are purely for illustrative purposes and the actual product may vary. It is required that the chosen architectural styles be utilized and the elevations are identifiable and the street scene is varied. Generic box architecture that has an unidentifiable style or detailing is not permitted. The actual detailed architectural designs and details that will be used within the *Ironwood Village* community will be decided at time of buildout by the developer with approval by the City of Moreno Valley.

Ironwood Village

ARCHITECTURAL STYLES

Architectural Styles

Ironwood Village is envisioned as a community with a variety of home styles where architectural massing, roof forms, detailing, walls and landscape are integrated to reflect historic, regional, and climate-appropriate styles. Five styles have been chosen for the Ironwood Village community.

- ❖ Monterey
- ❖ Spanish Colonial
- ❖ Santa Barbara
- ❖ Napa
- ❖ Tuscan

Ironwood Village

ARCHITECTURAL STYLES

1. **Monterey**

The Monterey style emerged in the town of Monterey on California's central coast in the mid-19th Century. The style developed from a combination of two-story New England colonial house with an Adobe brick exterior. Later, the Monterey style was merged with elements from the Spanish Eclectic and Colonial Revival styles. Regardless of this evolution, the defining feature of the Monterey style remained the same: a prominent second-floor balcony.

Identifying Characteristics

- ❖ Simple 2-story building forms
- ❖ Cantilevered balconies on front facades
- ❖ Pot shelves and decorative vents



Figure 3-1 Monterey Style



Ironwood Village

ARCHITECTURAL STYLES

Style Elements	Required
Form	<ul style="list-style-type: none"> Typically two stories with simple building massing
Roof	<ul style="list-style-type: none"> Low pitched gable roofs (occasionally hipped), 3.5:12 to 4:12 12" to 24" overhangs Shallow sloped, concrete 'S' tile roofs in variegated colors (red clay is predominant color) Flat concrete shingle
Walls	<ul style="list-style-type: none"> Stucco exterior walls, smooth to light sand finish Brick or siding (shingle, or vertical board-and-batten) First and second stories frequently have different finish materials, with wood over brick being most common
Windows	<ul style="list-style-type: none"> Rectangular, vertically proportioned windows Paired windows Full length window opening onto balcony Simple window trim
Details	<ul style="list-style-type: none"> Wood balcony and railing Decorative shaped rafter tails Ornate chimney cap Round tile attic vents Shutters as occasional accents
Colors	<ul style="list-style-type: none"> Whites, painted brick building color White or dark brown trim



Cantilevered Second



Shutter and Window



Pot Shelves

Graphics shown are for illustrative purpose only

Ironwood Village

ARCHITECTURAL STYLES

2. *Spanish Colonial*

The Spanish Colonial style was popular during the 1920s and early 1930s. This style evolved in California and the southwest as an adaptation of Mission Revival infused with additional elements and details from Latin America. It is common in California, Arizona, Texas and Florida. The key elements of this style were adapted to the California lifestyle. Plans were informally organized around a courtyard with the front elevation simply articulated and detailed.

Identifying Characteristics

- ❖ Terra cotta or red concrete tile roofs
- ❖ Entry courtyards with gates
- ❖ Decorative elements, including wrought iron, clay vents, ceramic tiles, etc.



Figure 3-2 Spanish Colonial Style

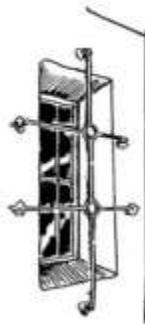
Ironwood Village

ARCHITECTURAL STYLES

Style Elements	Required
Form	<ul style="list-style-type: none"> • One-and Two-story building massing, often asymmetrical in form
Roof	<ul style="list-style-type: none"> • Typical 4:12 roof pitch • Predominant gable and shed with tight rake and 12"-18" eaves • Full 'S' concrete tile • Limited use of conical roofs on circular towers
Walls	<ul style="list-style-type: none"> • Stucco exterior walls, smooth to light sand finish • Shaped stucco eave details
Windows	<ul style="list-style-type: none"> • Recessed Feature windows • Square, rectilinear or round accent window • Vertical proportioned windows • Simple window trim • Tile or pre-cast window trim at select locations
Details	<ul style="list-style-type: none"> • Decorative iron lanterns, sconces, hinges, railing and hardware • Fabric or metal awnings • Sculpted walls and chimneys • Gable end roof vents • Pre-cast concrete accents • Round pre-cast concrete columns, or stucco pilaster with decorative cornice trim
Colors	<ul style="list-style-type: none"> • Off-white or cream building color • Dark brown trim • Bright accent color on entry door, shutters and awnings



Decorative Tile



Recessed Window



Decorative Wrought Iron

Graphics shown are for illustrative purpose only

Ironwood Village

ARCHITECTURAL STYLES

3. *Santa Barbara*

This style was established in the City of Santa Barbara. After the devastating earthquake of 1925, the City adopted the Hispanic style as its official style. The Santa Barbara style has its roots in the Spanish colonial revival style. White-washed stucco walls are inherent to the Santa Barbara style, which also features boxy, simple forms, low-pitched gable roof form, and the use of wood and tile as accent details.

Identifying Characteristics

- ❖ Stucco with light sand finish
- ❖ Boxy, simple massing
- ❖ Fully rounded arch elements
- ❖ Deeply recessed wall fenestration and asymmetrical volumes grouped about courtyards
- ❖ Dark wood exposed rafter tails
- ❖ Wrought iron accents



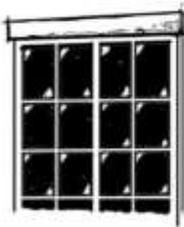
Figure 3-3 Santa Barbara Style



Ironwood Village

ARCHITECTURAL STYLES

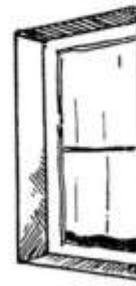
Style Elements	Required
Form	<ul style="list-style-type: none"> • Boxy, simple massing • One- and two-story stacked elements • Recessed entry or covered porch
Roof	<ul style="list-style-type: none"> • Roof pitch: 4:12 to 5:12 • 0-6" rake and 18"-24" eaves • Full 'S' concrete tile • Hip or intersecting gable roof
Walls	<ul style="list-style-type: none"> • Stucco exterior walls, smooth to light sand finish • Stucco eave details
Windows	<ul style="list-style-type: none"> • Vertical multi-paned windows • Accent recessed window • Simple window trim
Details	<ul style="list-style-type: none"> • Decorative wrought iron accent details • Decorative shaped rafter tails • Sculpted walls and chimneys • Gable end roof vents • Full round arched arcades or openings • Juliette balconies
Colors	<ul style="list-style-type: none"> • Off-white and cream building color • Cream and earth tone trim • Dark colored eaves and fascia



Window Headers



Balcony



Recessed Windows

Graphics shown are for illustrative purpose only

Ironwood Village

ARCHITECTURAL STYLES

4. *Napa*

This style has evolved in California's Napa Valley. The architecture shares elements of California Eclectic and Mediterranean historical styles. To respond to the local climate environment, large overhangs are incorporated into the style in order to shield the house from sun in summer and warm the house in winter. Deep earth tone colors help to ground the Architecture and blend into the landscape design.

Identifying Characteristics

- ❖ Deep earth tone
- ❖ 'S'- shaped or flat concrete roof tiles
- ❖ Large overhang
- ❖ Stucco finish
- ❖ Masonry veneer accents

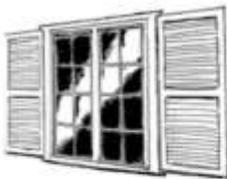


Figure 3-4 Napa Style

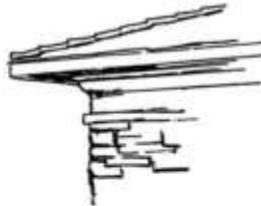
Ironwood Village

ARCHITECTURAL STYLES

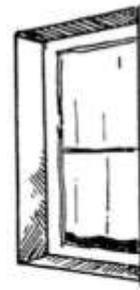
Style Elements	Required
Form	<ul style="list-style-type: none"> • Informal arrangement of one- and two-story building forms
Roof	<ul style="list-style-type: none"> • Roof pitch: 4:12 to 6:12 • 12" to 24" overhangs at eaves • 6" to 12" overhangs at rakes • Full 'S' concrete tile or flat shingle w/ barrel tile hips/ridges • Main hip or gable roof with secondary shed or gable roofs over one-story elements
Walls	<ul style="list-style-type: none"> • Stucco finish with masonry veneer accents
Windows	<ul style="list-style-type: none"> • Recessed windows • Vertically oriented, multi-light window • Simple window trim
Details	<ul style="list-style-type: none"> • Decorative iron accents • Decorative shaped rafter tails • Pre-cast door or window trims
Colors	<ul style="list-style-type: none"> • Deep earth tone building color • Lighter or darker contrasting trim color • Dark or rich accent color



Window with Louvered Shutters



Overhang



Recessed Windows

Graphics shown are for illustrative purpose only

Ironwood Village

ARCHITECTURAL STYLES

5. *Tuscan*

The Tuscan style home originates from the Tuscany region of Italy and has become a highly sought-after style of architecture. The style represents the unique heritage of the region and is true to its original design created during the Middle Ages. Tuscan style homes incorporate accent materials such as stone, fieldstone, brick, or other rustic materials. Shed and hip roofs or occasional gable or cross gables help identify the Tuscan style as well.

Identifying Characteristics

- ❖ Stucco wall materials with stone accent wall planes
- ❖ Typically shallower pitched hip or gable roofs with "S" tile
- ❖ Exposed rafter tails with decorative end cuts
- ❖ Front entries typically detailed with a pre-cast trim surround and wood head trim

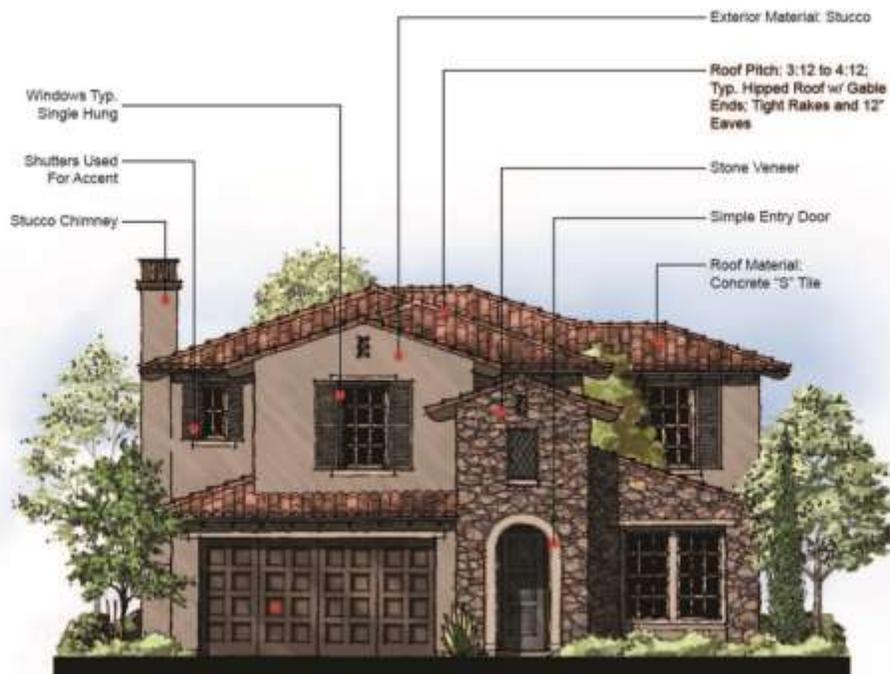


Figure 3-5 Tuscan Style

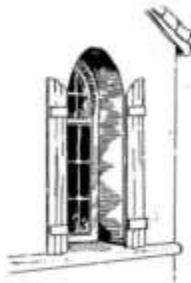
Ironwood Village

ARCHITECTURAL STYLES

Style Elements	Required
Form	<ul style="list-style-type: none"> • Informal arrangement of one- and two-story building forms
Roof	<ul style="list-style-type: none"> • Low pitched roofs, 3:12 to 4:12 • Tight to 18" overhangs at eaves • Tight to 12" overhangs at rakes • Full 'S' concrete tile • Shed and hip roofs or occasional gable or cross gable
Walls	<ul style="list-style-type: none"> • Stucco exterior walls, smooth to light sand finish • Hill stone accents
Windows	<ul style="list-style-type: none"> • Recessed windows • Shaped window trim
Details	<ul style="list-style-type: none"> • Decorative "lacy" wrought iron grille work • Entry door patterns shall reflect architectural style of the building • Decorative iron accents • Decorative shutters and awnings • Arched windows or openings • Decorative shaped rafter tails
Colors	<ul style="list-style-type: none"> • Variety of rich earth tone building color • Lighter or darker contrasting trim color • Dark or bright accent color



Round Arches



Recessed Window



Decorative Balcony

Graphics shown are for illustrative purpose only

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a. Variation Requirements

The variation requirements below have been determined by fixing the maximum average frequency of a given house at two (2) times per development. The frequency equals the number of lots in a planning area divided by the number of required house footprint combinations. These variation requirements, along with the mix requirements, will help to ensure development of an architecturally diverse community.

Table 2-1 Summary of Variation Requirements

Summary of Footprint Variation Requirements		
Number of Lots	Minimum Footprints	Minimum Elevation Footprints
181	6	6

Note: These minimum Footprints are per the City of Moreno Valley Municipal Code 9.16.130 (Table 9.16.130B)

If the project is split into two or more planning areas, *Table 2-1 Summary of variation requirements* for the revised number of lots will meet or exceed the City of Moreno Valley Municipal Code Section 9.16.130 Table B which applies to all projects within the City of Moreno Valley.

The table should be regarded as a minimum, reverse versions of each floor plan must be provided.

To minimize visual impact, corner residential structures shall be single-story or if two-story, shall incorporate single-story elements into the design. The short and low side of the home should be sited fronting the street corner.

b. Mix Requirements

A single floor plan may not be plotted with less than fifteen percent (15%) or more than a twenty-five percent (25%) frequency, unless otherwise directed to do so by City of Moreno Valley staff.

Ironwood Village

c. Colors and Materials

A range colors and textures of building materials are required to lend to the appearance of a varied street scene. The use of appropriate building materials and colors helps to maintain a specific architectural style, as well as providing a diverse neighborhood design. Material breaks, transitions and terminations should produce clear definitions of separation while maintaining a defined color and/or materials theme. This is important when transitioning from stucco and/or siding to masonry veneers. Colors and materials should visually blend with the hillsides. The actual colors and materials to be used within the *Ironwood Village* community will be decided at time of buildout by the developer with approval by the City of Moreno Valley.

3. Landscape Design

The conceptual landscape and planting design provides the identity to the *Ironwood Village* community that at time of buildout the developer shall comply with the *City of Moreno Valley's Landscape and Irrigation Standards Section 9.17.030 of the Municipal Code*. The plant palette for *Ironwood Village* will be appropriate to the project's climate. The landscaping shall be where appropriate drought tolerant/native vegetation and utilize water-conserving equipment including the installation of bubblers, drip systems, low volume sprays and/or smart irrigation controls when feasible.

Landscaping shall consist predominately of plant materials that include water efficient "drought tolerant", and/or native plants. The landscape areas shall be designed to promote water retention and allow runoff from impervious surfaces to permeable areas. Hardscape areas are recommended to be constructed with pervious surfaces where feasible to reduce run off and allow water percolation.

The landscape plan incorporates the water retention/detention/ water quality basins as well as the hillside areas that are to be conserved and the fuel modification areas as shown on TTM 37001. Project open space, fuel modification area, interior streets, interior trails and park will be maintained by the *Ironwood Village* Home Owners Association (HOA.) In addition, there are exterior multi-use trails along the roadways adjacent to the project, and a trail head (*located in the southeast corner of the project at Ironwood Avenue and*

Ironwood Village

Oliver Street) connecting to future City of Moreno Valley Proposed off-site trails; these will be maintained by the City of Moreno Valley. The drainages will be maintained by the City of Moreno Valley, however the water basins will be maintained by the *Ironwood Village* HOA (landscaping) . ***Please refer to Figure 4-1 Maintenance Responsibility.*** The actual detailed landscape design and placement that will be used within the *Ironwood Village* community will be decided at time of buildout by the developer with approval by the City of Moreno Valley.

a. Community Landscape, Walls and Fencing

All of the *Ironwood Village's* community areas will be landscaped as appropriate per ***City of Moreno Valley's Landscape and Irrigation Standards Section 9.17.030 of the Municipal Code.*** The landscape will provide a cohesive appearance to the community and aid in the transition to and from adjacent areas. The visible *Ironwood Village* perimeter walls include a six feet (6') high block wall with pilasters and concrete block cap. Neighborhood walls will be six feet (6') high concrete masonry walls and vinyl privacy fencing in tan or white for residential privacy are to be a five feet six inches (5' 6") high, made with 6" vinyl tongue and groove with 7" top and bottom vinyl rails. Adjacent to the multi-use trails, a five feet (5') high, in tan or white three rail vinyl fence or a Three (3) Cable and Post fencing along the trails should be minimized, unless needed when out of "public view". Therefore, a trail may have no fence or a Three (3) cable and post fence, along the hilly trail sections if necessary the two trail fencing types are to be per City of Moreno Valley standards will define the trail areas. Top of slopes in the rear yards, a six feet (6') high view wall will be built; a low wall with tubular steel fencing on top will be provided. Tubular steel fencing will also be provided adjacent to water quality basins and the park per City of Moreno Valley standards. There will be an Entry monument located at the project entry into the project from Ironwood Avenue. In addition, there will be secondary entry monument at the Nason Street entry road and the Oliver Street entry road. ***Please refer to Figure 4- 2 Preliminary Wall/Fence Plan & Figure 4-4 Trails and Open Space Plan.***

Ironwood Village

The walls and fencing shall meet the following requirements as shown on *Figure 4- 2 Preliminary Walls and Fence Plan*. All of the public walls and fencing will be maintained by the *Ironwood Village* HOA. However, individual residential lot walls/ fences will be maintained by the homeowner.

Block Community Walls (*Perimeter Wall & Neighborhood Wall*)

- Block walls will be block or an approved alternative. This includes perimeter walls and private areas.
- Colored concrete caps at wall and pilaster tops shall match the color of the masonry.
- Perimeter wall pilasters will match the block material and color.
- Retaining walls will match the block wall conditions.
- Perimeter & neighborhood walls should have two feet (2') wide square block pilasters which match the wall, with a two inch (2") cap block.
- Perimeter walls should be four inches by six inches by sixteen inches (6" x 8" x 16") stucco over regular CMU.
- Perimeter walls should have six inches by eight inches by sixteen inches (6" x 8" x 16") split face CMU along the top edge of the wall.
- Perimeter walls should have fourteen inches (14") Concrete Cap on top of the wall.
- Neighborhood walls should be four inches by eight inches by sixteen inches (4" x 8" x 16") regular CMU.
- Entry Monuments with the Ironwood Village logo will be placed within the Ironwood Avenue, Nason Street and Oliver Street entrance road landscape setback areas. (*Exact design has not been determined at this time and will be determined at time of buildout by the developer and approved by the City of Moreno Valley.*)
- *Please refer to Figure 4–3 Wall/Fence Details.*

Rear Fencing on Slopes (*View Wall*)

- The "View Wall" low block wall twenty-four inches (24") high lower wall will match the community block wall, with tubular steel fencing placed on top of the lower block wall.
- The view walls will be made with tubular steel fencing materials.

Ironwood Village

- View walls should have one and one-half inches (1 ½ ") square tubular steel tubing, top and bottom rails.
- View walls should have one inch (1") square steel tubing pickets set four and one-half inches (4 ½ ") on-center spacing.
- View walls should have two feet (2') wide square block pilasters which match the wall, with a two inch (2") cap block.
- View walls should be stucco over block six inches by eight inches by sixteen inches (6" x 8" x 16") regular CMU.
- View walls should have four inch (4") square tubular steel posts at property line corners, with a Newel Post Ball on top.
- View walls should be along the back of the lots, that back onto open space or other lots that back to open space areas but, not along trails.
- *Please refer to **Figure 4–3 Wall/Fence Details**.*

Interior Fencing (Privacy Fence)

- Interior privacy fencing will be tan or white vinyl for both interior property lines and fence return conditions.
- Interior fencing heights will vary but no lower than five feet six inches (5' 6") high.
- Privacy fencing should have five inches by five inches (5" x 5") Vinyl Post.
- Privacy fencing should have a domed cap on top of the post.
- Privacy fencing should have six inch (6") wide tongue and groove Vinyl or fencing that simulates tongue and groove.
- Privacy fencing should have two inches by seven inches (2" x 7") Top and Bottom vinyl rails.
- Vinyl privacy fencing will be tan or white.
- Gates will be constructed to match the tan or white interior vinyl privacy fence.
- *Please refer to **Figure 4–3 Wall/Fence Details**.*

Trail Fencing (3 Rail Fence)

- Trail fencing will be per City of Moreno Valley standards.
- Vinyl Ribbed Rails in tan or white.
- Five inches by five inches (5" x 5") Vinyl Posts in tan or white.

Ironwood Village

- Posts will be topped with post caps that match the vinyl posts in tan or white.
- Three rail fencing should have one and one-half inches by five and one-half inches (1 ½ x 5 ½ ") vinyl ribbed rails, spaced eleven inches to twelve and one-half inches (11" - 12 ½ ") apart.
- *Please refer to Figure 4–3 Wall/Fence Details.*

Trail Fencing (3 Cable & Post Fence)

- Trail fencing will be per City of Moreno Valley Standard MVGF-616-0.
- Galvanized Posts, Cable and Hardware.
- Posts 2" Standard Galvanized Post.
- Cable 1/4" Galvanized Cable.
- Posts will be topped with post caps that are driven fit.
- 5/16" Turnbuckle with 4 - ½ " adjustment and 2 - ¼" Cable Clamps per end
- Three cable and post fencing should have cable spaced twelve inches (12") apart.
- *Please refer to Figure 4–3 Wall/Fence Details.*

Basin / Open Space Fencing (View Fence)

- The view fencing will be made with tubular steel fencing materials.
- View Fencing should have one and one-half inches (1 ½ ") square tubular steel tubing, top and bottom rails.
- View fencing should have five-eighth inches (5/8") square steel tubing pickets set four and one-half inches (4 ½ ") on-center spacing.
- View fencing should have one and one-half inches (1 ½ ") square tubular steel posts set six feet (6') on-center maximum spacing.
- View fencing should have four inch (4") square tubular steel posts at property line corners, with a Newel Post Ball on top.
- View fencing should also be around the basins and other open space areas.
- *Please refer to Figure 4–3 Wall/Fence Details.*

Ironwood Village

b. Fuel Modification Requirements

On the north side of the *Ironwood Village* community are fuel modification zone areas. The removal and or preservation of plants/trees will be subject to review and approval by the City's fuel management officer. Maintenance of the fuel modification zone will be the responsibility of the *Ironwood Village* HOA. The twenty to twenty-four feet (20' - 24') wide fire access road and the multi-use trail that travels along the northern edge of the developed portion of the project, is built into the fuel modification zone for this project. All landscaping within *Ironwood Village* shall comply with the *City of Moreno Valley's Landscape and Irrigation Standards Section 9.17.030 of the Municipal Code*.

c. Trails

The multi-use trails interconnect the *Ironwood Village* project neighborhoods to the interior open spaces and park as well as to the future City of Moreno Valley's off-site trails system. A Trail Head will be located at the southeast corner of the Ironwood Village at Oliver Street and Ironwood Avenue. The Trail Head will connect to the exterior trail system along Ironwood Avenue and Oliver Street which connects to the interior trail system as well as to the off-site trails. There will be "nodes of interest" located along the central trail that leads from north to south to and from the neighborhood park. The "nodes of interest" may be but not limited to the following: scenic views, exercise equipment, benches, dog stations, drinking fountains, trash/recycling containers and/or other items along the project's trails. There are trail connections onto the central trail from trails leading off the adjacent cul-de-sacs. The central trail will have areas to rest and enjoy the outdoors within walking distance of home. In addition to the trails creating interconnectivity on site the project includes two (2) trail connections from Street "A" directly to Ironwood Avenue. These connections will provide view corridors from Ironwood Avenue into Ironwood Village as well as rest stops. The combination of trails and fire access located to the rear of the houses on the northern portion of the development are to be a minimum of twenty-four feet (20' - 24') wide per City of Moreno Valley standards. *Please refer to Figure 4-4 Trails and Open Space Plan.*

Ironwood Village

Trails will provide connections through the central open space area and will branch off east and west along this north-south open space area, with additional trails connecting to neighborhood streets, and other trails. All the trails will loop throughout the *Ironwood Village* project and allows pedestrian connections to the park and the proposed City Trails north, east and west of the site. The trails will be built per City of Moreno Valley Standards. *Please refer to Figure 4-4 Trails and Open Space Plan & Figure 4-5 Conceptual Trails Section.*

i. Trail Head

A Trail Head will be located within lot "M", adjacent to the corner of Oliver Street and Ironwood Avenue, parking will be on-street parking along Oliver Street. The Trail Head may include but is not limited to the following amenities: bench seating, covered picnic area, trash/recycling receptacles, dog station, water fountain, hitching post, horse watering station and/or exercise equipment. The actual Trail Head amenities will be decided at time of buildout by the developer with approval from the City of Moreno Valley. *Please refer to Figure 4–8 Conceptual Trail Head.*

ii. Ironwood Avenue Trail Connections

There are two (2) Trail connections to Ironwood Avenue from Street "A" within the *Ironwood Village* project. The first trail connection is located between lots 13 & 14 and is a part of lot "K", this trail will cross the water basin with a bridge and a pedestrian walkway. The design and materials of the bridge will be determined at time of buildout by the developer with approval from City of Moreno Valley. The second trail connection is located between lots 5 & 6 and crosses between lot "K" and lot "M". The trail connections will be pedestrian walkways that will allow direct access from the project interior to the exterior trails along Ironwood Avenue. One of the trail connections bulbs/flares out on the Ironwood Avenue end of the connection, allowing room for enhanced landscaping and, seating areas and/or other amenities. Each of these trail connections may include but is not limited to the following amenities: bench seating, trash/recycling receptacles, dog station, shade structure and/or water fountain. The actual Trail Connection amenities will be decided at time of buildout by

Ironwood Village

the developer with approval from the City of Moreno Valley.
Please refer to Figure 4--9 Trails Connectivity and Figure 4-10 Ironwood Pedestrian Connections.

All landscaping within *Ironwood Village* shall comply with the *City of Moreno Valley's Landscape and Irrigation Standards Section 9.17.030 of the Municipal Code.*

d. **Hillside Nature Area**

The hillside nature / open space areas are to be left undeveloped or minimally developed on the northwest and northeastern areas along the northern most project boundaries as shown on TTM 31007. *Please refer to Figure 4-4 Trails and Open Space Plan .* These areas will be conserved as natural open space to help preserve the scenic views of the hillsides from the City of Moreno Valley. These areas will not be landscaped and/or watered the area will be maintained as is, unless otherwise required by the City of Moreno Valley. The hillside nature / open space areas creates a “natural” transition between the developed and undeveloped areas and, may include the fuel modification vegetation clearance zone and/or fire access/trail. The hillside areas will help to buffer and transition the project from the surrounding land uses to the proposed *Ironwood Village* community. Preserving the hillside areas for scenic and transitional reasons allows for some of the natural rock outcroppings as well as the existing off-site trails to remain intact.

e. **Open Space**

The *Ironwood Village* open space areas that are not to remain as natural vegetation will be planted as appropriate to the project's climate. The landscaping shall be where appropriate drought tolerant or native plants and utilize water-conserving equipment including the installation of bubblers, drip systems, low volume sprays and/or smart irrigation controls when feasible. No detailed plant palettes have been proposed within this document due to the currently evolving nature of the water conservation measures in the State of California. All landscaping within *Ironwood Village* shall comply with the *City of Moreno Valley's Landscape and Irrigation Standards Section 9.17.030 of the Municipal Code.*

Ironwood Village

Landscaping shall consist predominately of plant materials that include water efficient “drought tolerant” and native plants. Landscape areas shall be designed to promote water retention and allow runoff from impervious surfaces. Hardscape areas are recommended to be constructed with pervious surfaces where feasible to reduce run off and allow water percolation. *Please refer to Figure 4-4 Trails and Open Space Plan.*

f. Park

The *Ironwood Village* park is located centrally within to the project, allowing residents to walk to the park safely using the project wide inter-looping trails system. The park may include but not limited to: bench seating, an open play area, Bocce ball courts, ½ court basketball, volleyball court, exercise equipment, picnic area and/or a tot lot “children’s play equipment”. The actual park amenities will be decided at time of buildout by the developer with approval from the City of Moreno Valley. *Please refer to Figure 4--6 Conceptual Park Plan.*

The park areas will be planted as appropriate to the project’s climate. The landscaping shall be where appropriate drought tolerant and utilize water-conserving equipment including the installation of bubblers, drip systems, low volume sprays and/or smart irrigation controls when feasible. No detailed plant palettes have been proposed within this document due to the currently evolving nature of the water conservation measures in the State of California. All landscaping within *Ironwood Village* shall comply with the *City of Moreno Valley’s Landscape and Irrigation Standards Section 9.17.030 of the Municipal Code.*

Landscaping shall consist predominately of plant materials that include water efficient “drought tolerant” native plants. Landscape areas shall be designed to promote water retention and allow runoff from impervious surfaces. Hardscape areas are recommended to be constructed with pervious surfaces where feasible to reduce run off and allow water percolation.

Ironwood Village

g. Basins

The basins within *Ironwood Village* community are located along the southern edge of the project site. The basins will not only provide a necessary job for retaining water on-site to prevent run-off, they also provide a transition and visual buffer to the existing residences south of Ironwood Avenue. The basins make the transition softer and more visually appealing by having landscaping and open space, instead of walls and roof tops. The basins will be planted as appropriate to the project's climate. The landscaping shall be where appropriate drought tolerant and utilize water-conserving equipment including the installation of bubblers, drip systems, low volume sprays and/or smart irrigation controls when feasible. No detailed plant palettes have been proposed within this document due to the currently evolving nature of the water conservation measures in the State of California. All landscaping within *Ironwood Village* shall comply with the *City of Moreno Valley's Landscape and Irrigation Standards Section 9.17.030 of the Municipal Code*.

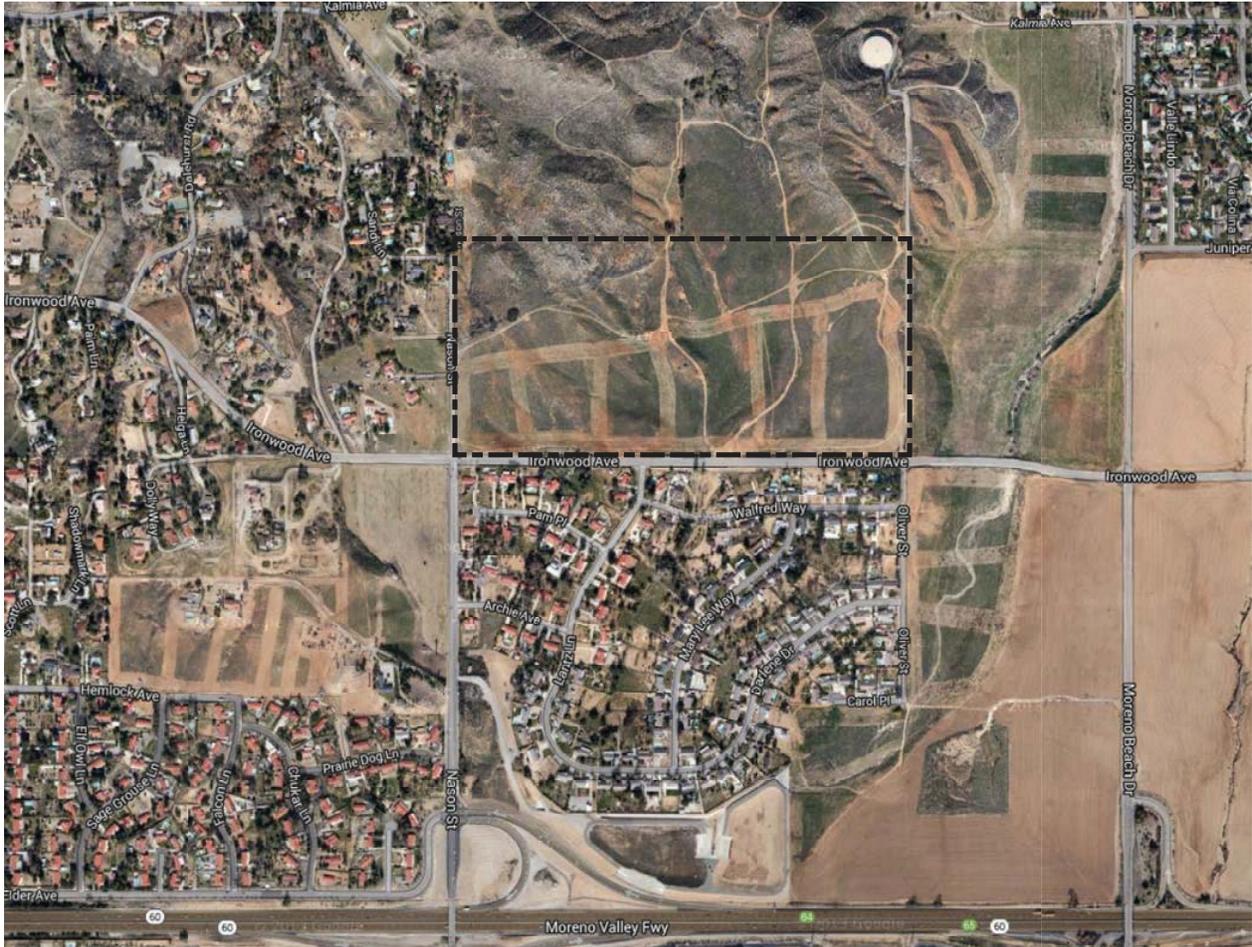
Landscaping shall consist predominately of plant materials that include water efficient "drought tolerant" native plants. Landscape areas shall be designed to promote water retention and allow runoff from impervious surfaces. Hardscape areas are recommended to be constructed with pervious surfaces where feasible to reduce run off and allow water percolation. *Please refer to Figure 4-- 7 Typical Basin Section.*

Ironwood Village Design Guidelines

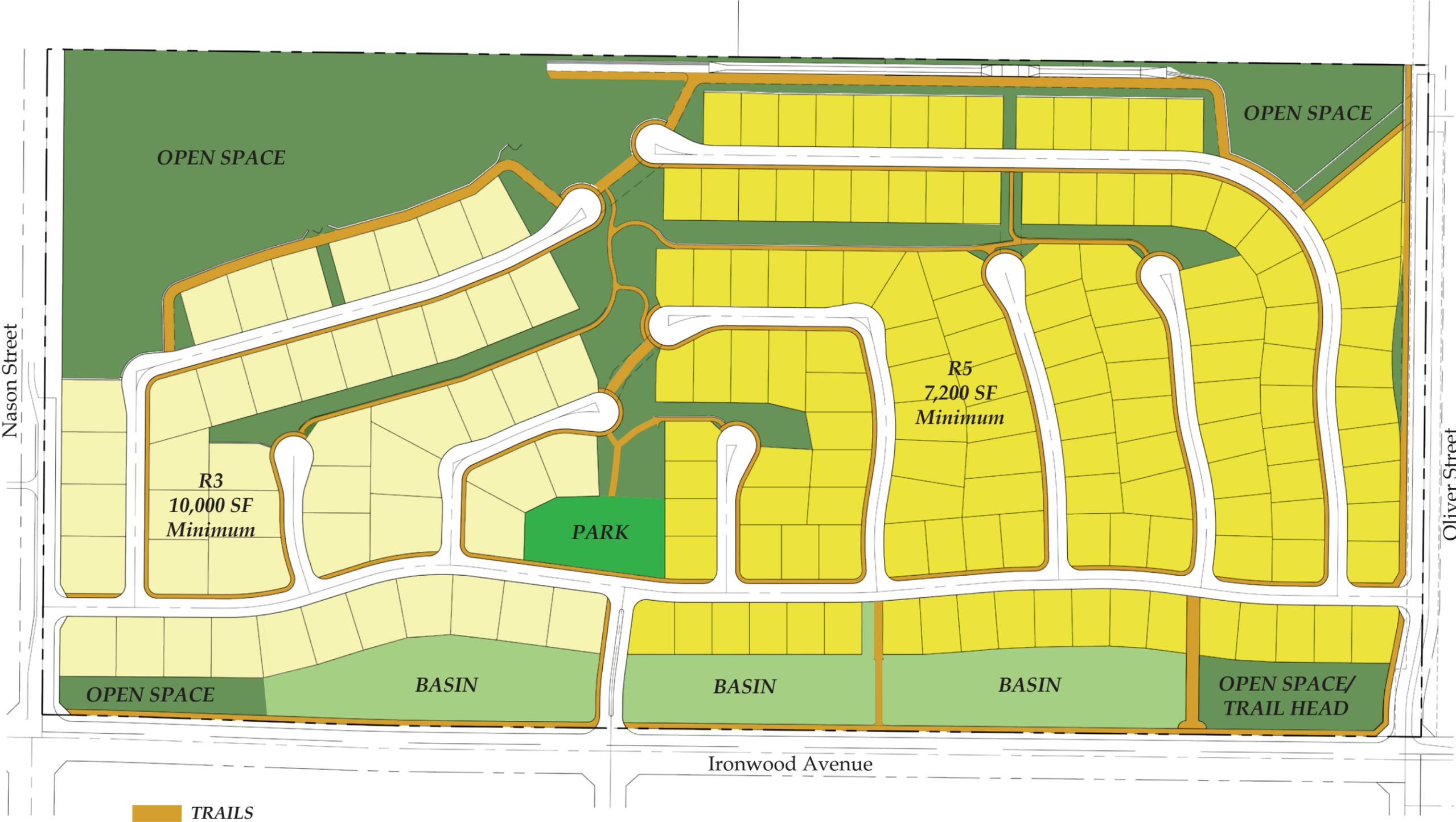
FIGURES

Ironwood Village

Site Location Map
Figure 1-1

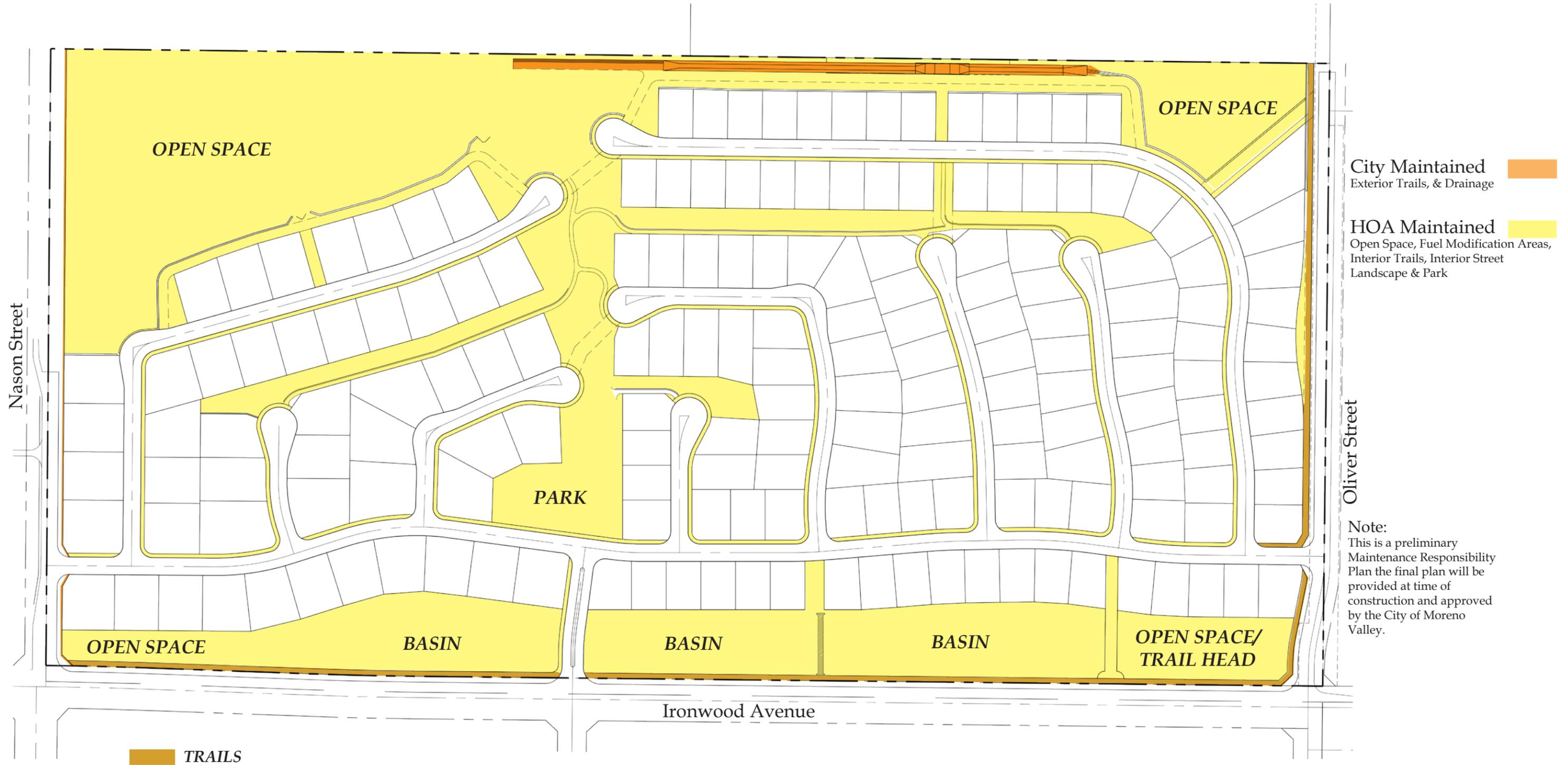


Ironwood Village



Ironwood Village

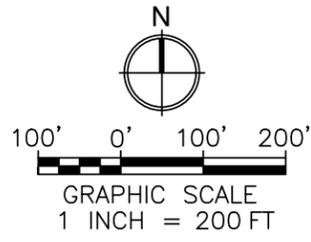
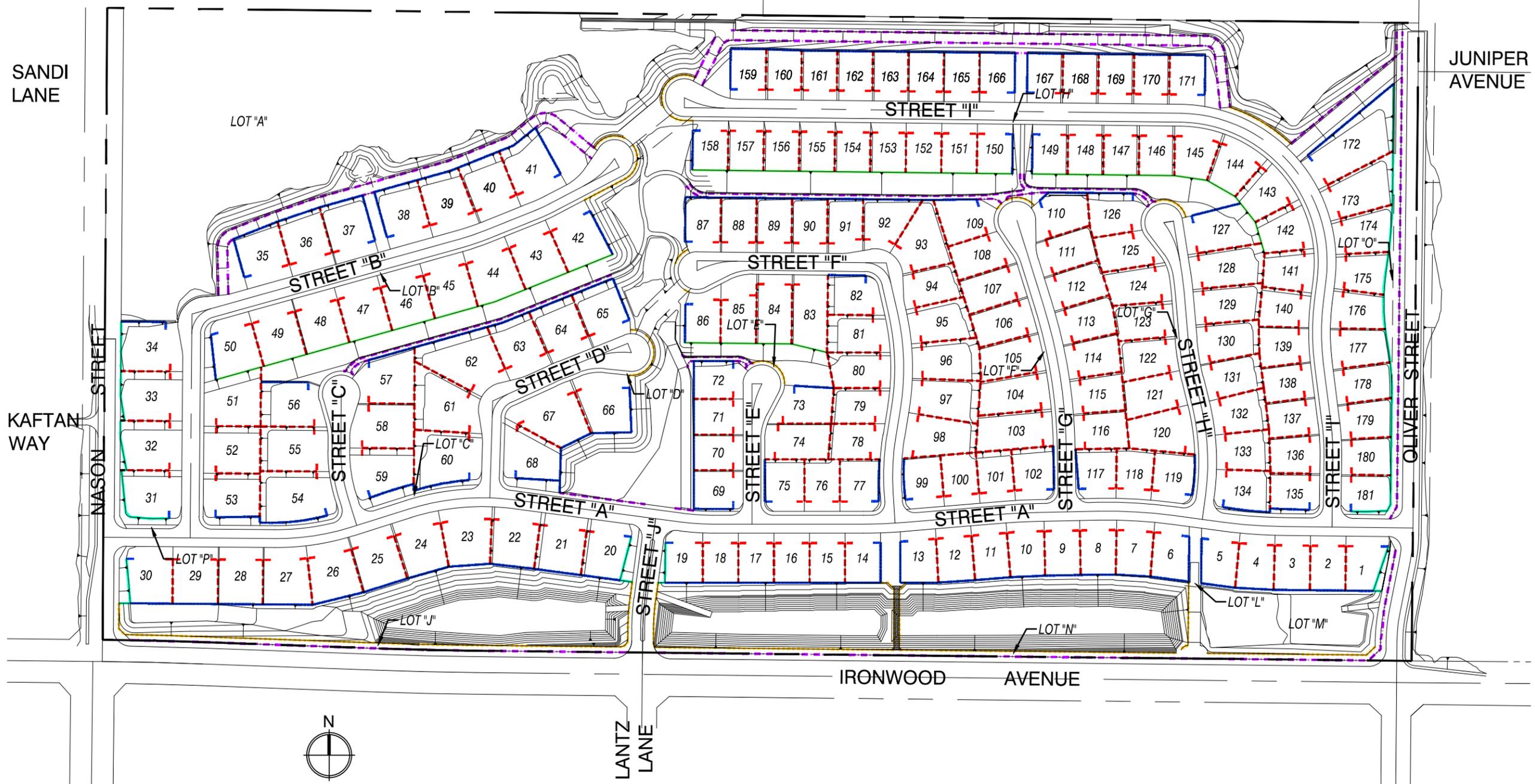
Maintenance Responsibility Plan Figure 4-1



Ironwood Village

Preliminary Wall / Fence Plan

Figure 4-2



WALL LEGEND

- | | | | |
|---|-------------------|---|--------------------------------------|
|  | PERIMETER WALL |  | 3 RAIL FENCE or 3 CABLE & POST FENCE |
|  | NEIGHBORHOOD WALL |  | VIEW FENCE |
|  | VIEW WALL |  | PRIVACY FENCE |

Note: This is a conceptual Wall and Fences Plan for Ironwood Village the actual Wall and Fence plan may differ at time of construction with approval by the City of Moreno Valley.

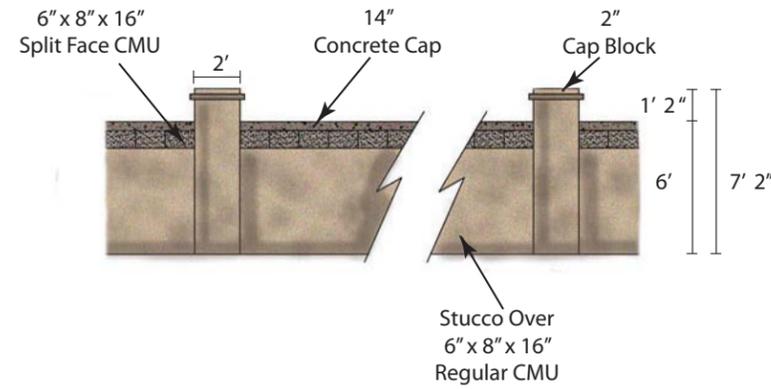
**ANDERSON
CONSULTING
ENGINEERS, INC.**

City of Moreno Valley / Design Guidelines Tract 37001 / April 2016

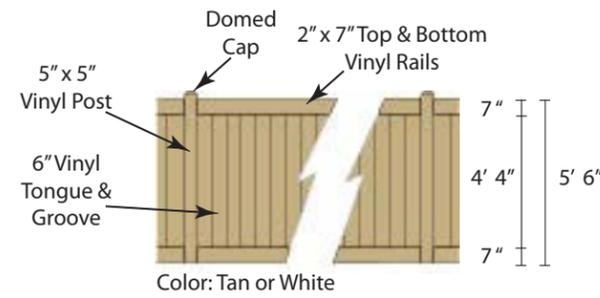
Ironwood Village

Conceptual Wall & Fencing Figure 4-3

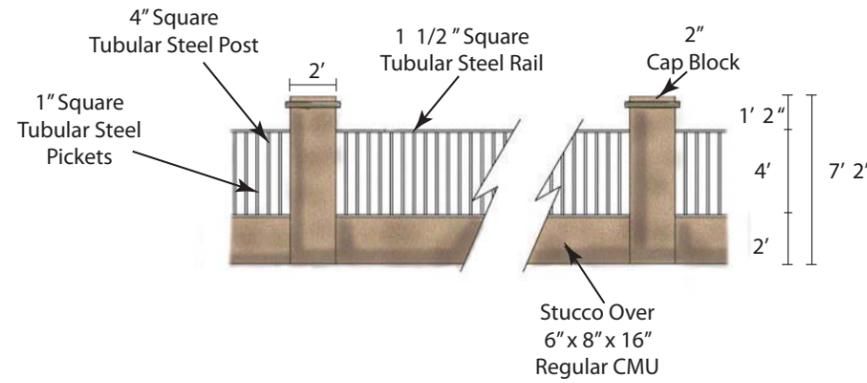
Perimeter Wall



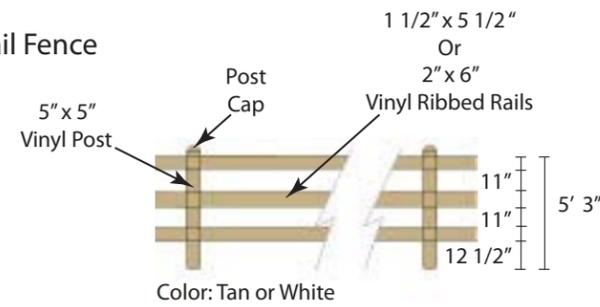
Vinyl Privacy Fence



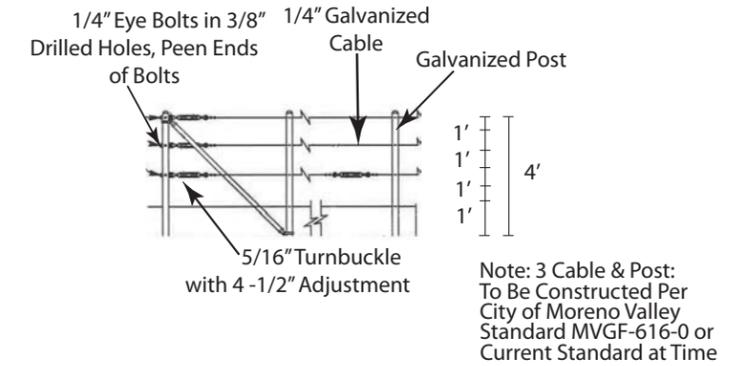
View Wall



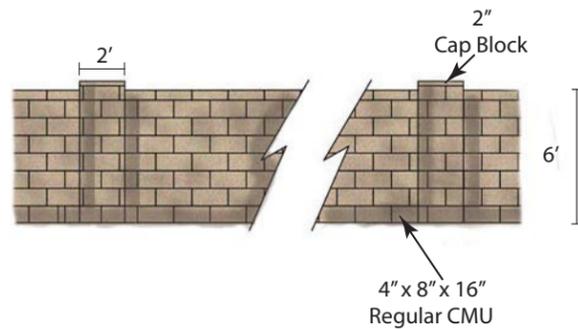
Vinyl 3-Rail Fence



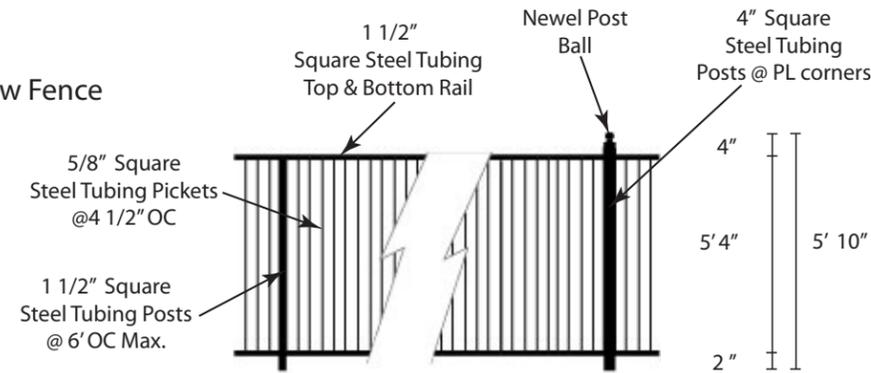
3-Cable & Post Fence



Neighborhood Wall



View Fence



Ironwood Village

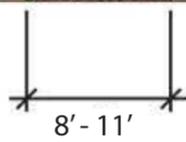


Note: This is a conceptual Trails and Open Space Plan for Ironwood Village the actual Trails and Open Space may differ at time of construction with approval by the City of Moreno Valley.

SECTION A



Note: This is for illustrative purposes, of the interior Trail Section for Ironwood Village the actual Trails may differ at time of construction with approval by the City of Moreno Valley.



CONCEPTUAL TRAIL SECTION



Moreno Valley, CA
KTGY # 20150218

09.16.2015

KTGY Group, Inc.
Architecture+Planning
17922 Fitch
Irvine, CA 92614
949.851.2133
ktgy.com



IRONWOOD



Ironwood Village

Conceptual Park Plan Figure 4-6

BBQ & Picnic Area



1/2 Court Basketball



Childrens
Play Area



Covered
Picnic Table



Volleyball Court

The photos are samples of the amenities that could be included in the Park area. The actual design / style and location of the amenities may change, other amenities could be used in-lieu of those indicated in this exhibit.



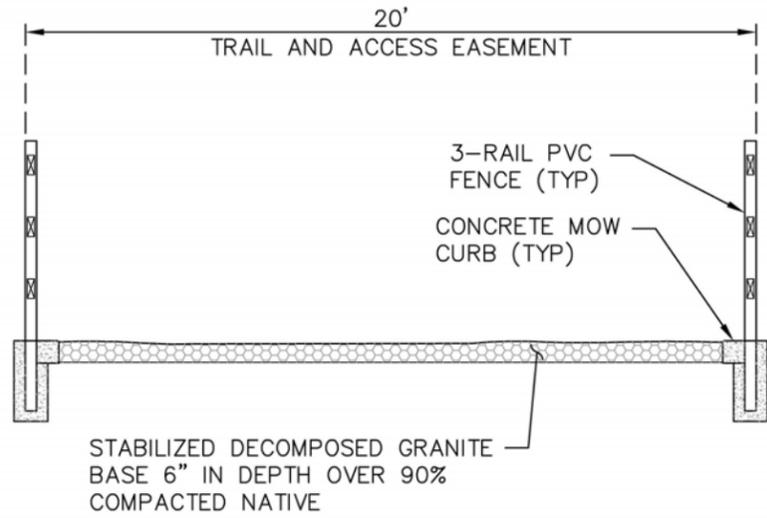
Bike Rack

Note: This is a Conceptual Park Plan for Ironwood Village the actual Park may differ at time of construction with approval by the City of Moreno Valley.

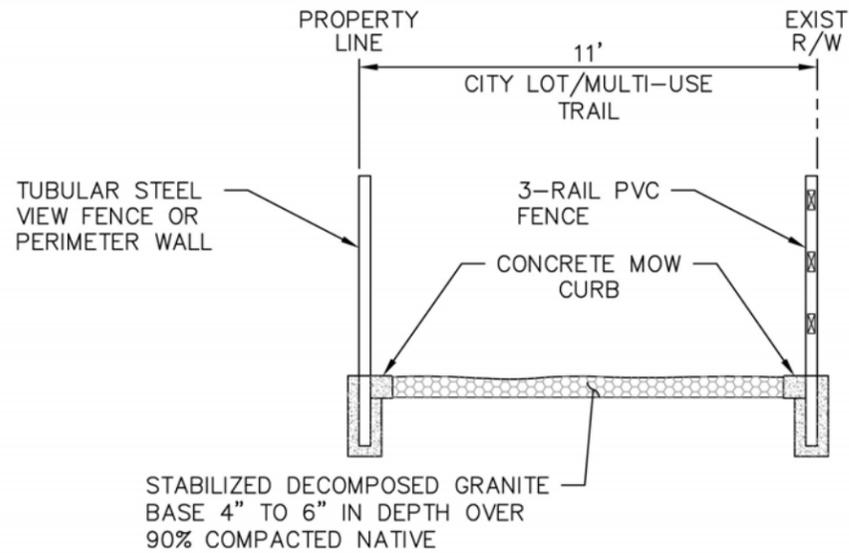
Ironwood Village

Trails and Basin Sections

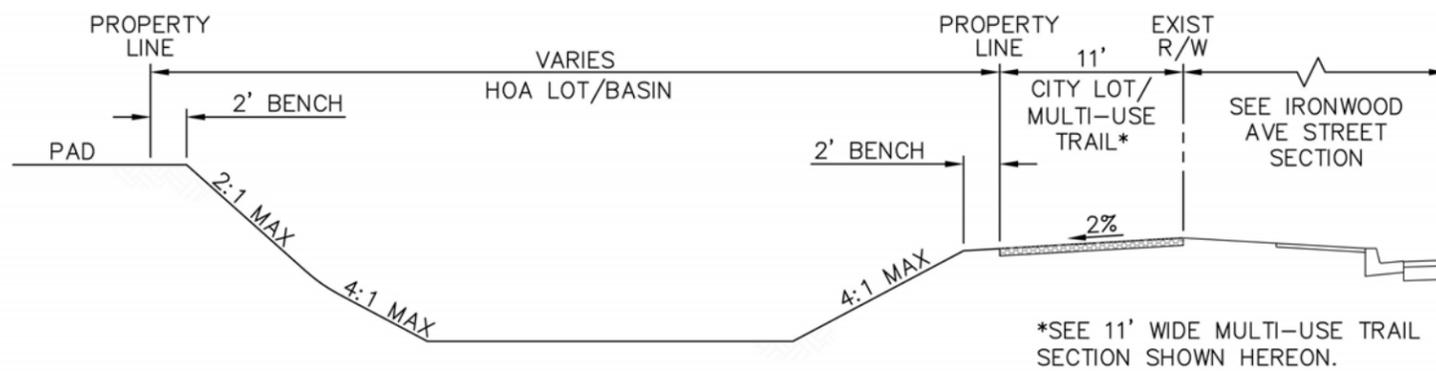
Figure 4-7



20' WIDE MULTI-USE TRAIL WITH FIRE ACCESS
STD. MVGF-610I-0
NOT TO SCALE



11' WIDE MULTI-USE TRAIL
MODIFIED STD. MVGF-610A-0
NOT TO SCALE

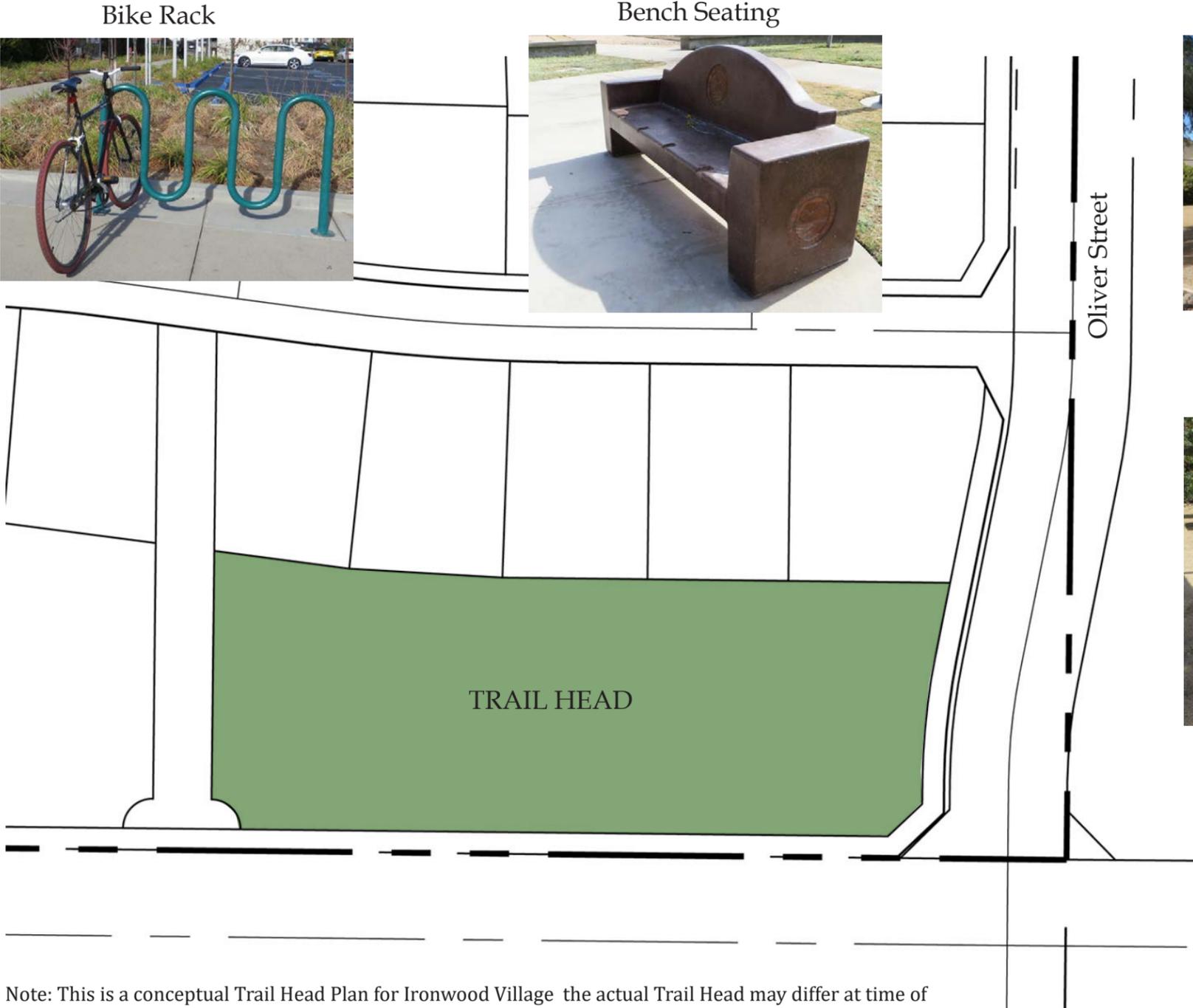


SECTION "A-A"
SOUTHERN BASINS AND
IRONWOOD AVENUE
NOT TO SCALE

Note:
These are typical Sections for the trails and the basins the final plans will be provided at time of construction and approved by the City of Moreno Valley.

Ironwood Village

Conceptual Trail Head Figure 4-8

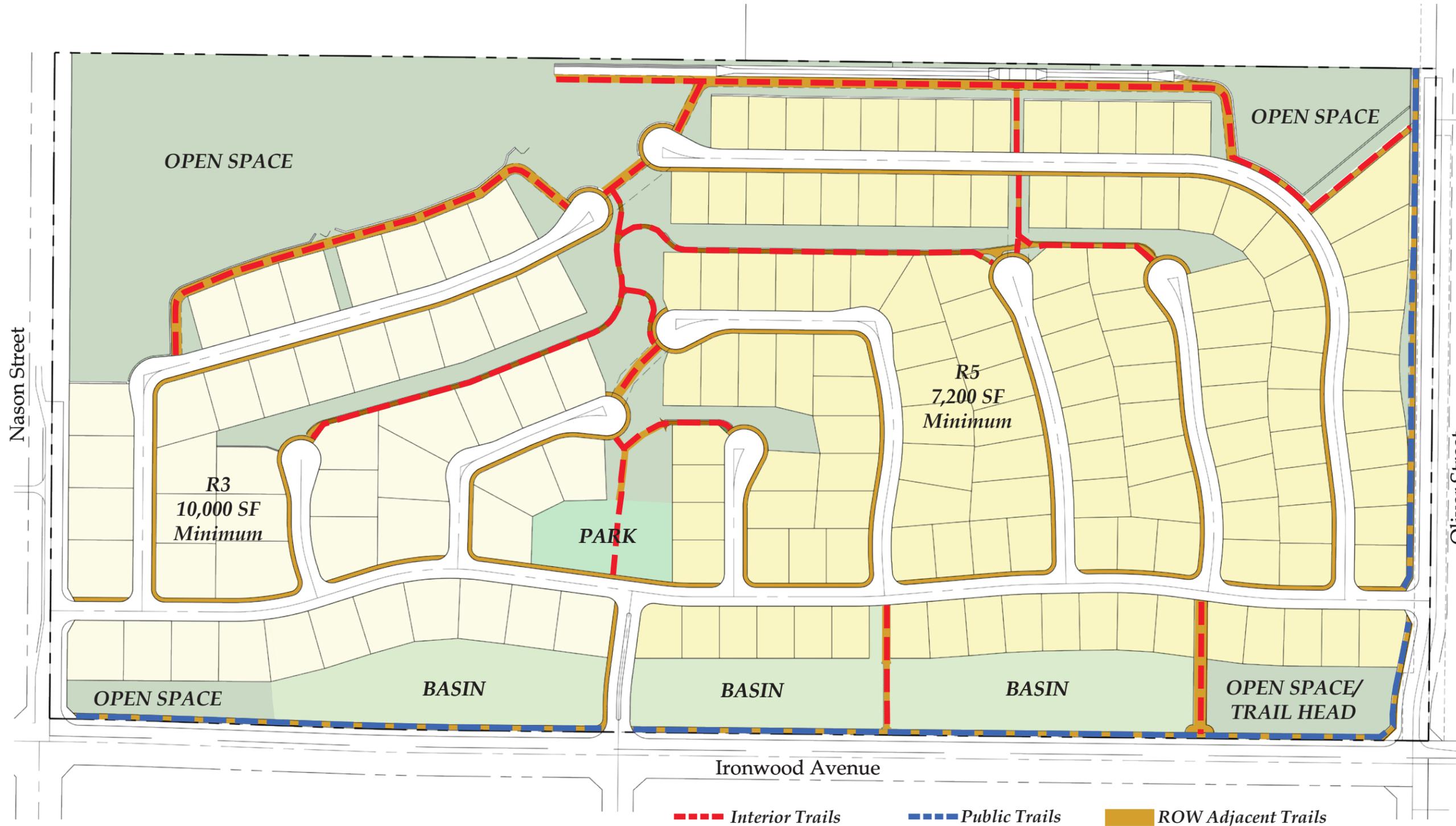


Note: This is a conceptual Trail Head Plan for Ironwood Village the actual Trail Head may differ at time of construction with approval by the City of Moreno Valley.
 Photo Samples are for Illustrative Purposes, the actual amenities and locations may vary.
 All parking for the Trail Head will be on-street parking along Oliver Street.

The photos are samples of the amenities that could be included in the Trail Head area. The actual design / style and location of the amenities may change, other amenities could be used in-lieu of those indicated in this exhibit.

Ironwood Village

Trails Connectivity
Figure 4-9



Note: This is a conceptual Trails Connectivity for Ironwood Village the actual Trail Connectivity may differ at time of construction with approval by the City of Moreno Valley.

Ironwood Village

Ironwood Pedestrian Connections

Figure 4-10

Bike Rack



Bench Seating



Drinking Fountain



Dog Station



Trash/Recycling Containers



Note: These are conceptual amenities for the Ironwood Pedestrian Connections, the actual amenities may differ at time of construction with approval by the City of Moreno Valley. Photo Samples are for Illustrative Purposes, the actual amenities and locations may vary.

The photos are samples of the amenities that could be included at the Ironwood Pedestrian Connections. The actual design / style and location of the amenities may change, other amenities could be used in-lieu of those indicated in this exhibit.